

**TOWN OF ELMORE, VT**  
**Building Committee Task Force Meeting**

Meeting Minutes – prepared by G. Schwartz

Status: Approved

**Meeting Date: August 1, 2022**

**Start Time: 5:35 pm    Adjourn: 6:40 pm**

**Meeting Attendees: See attached attendance sheet**

---

---

The following items were discussed;

1. Drawing C-02 (copy attached) was reviewed. It shows the proposed garage with an area for future expansion and two freestanding storage buildings (furnished and installed by others). The site will also include a stormwater retention area and a septic system to service the garage. The entire driveway and parking area will all be gravel, and there will be one concrete handicap parking spot paved in front of the building and an asphalt entrance area at Route 12.

There were a number of questions regarding the topography of the property around the proposed building structure and if any additional fill would be required to bring everything up to grade. The engineers believed that plenty of soil to be moved around and no fill would be required. G. Schwartz noted that a berm should be added to the drawings along the adjacent property as previously discussed.

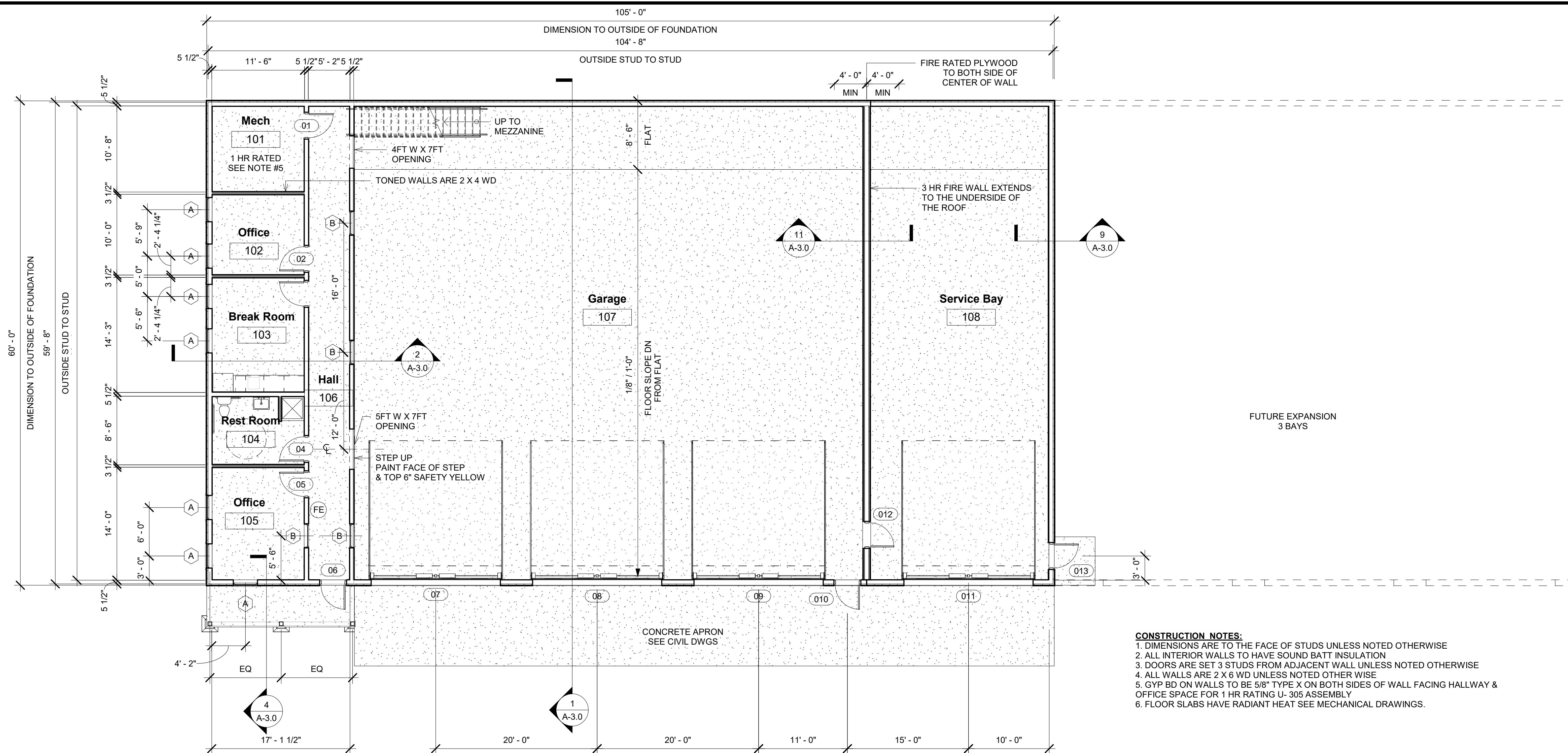
2. Drawing A-1.0 (copy attached) was reviewed next. The floor plan includes two offices, a break room, restroom, mechanical room, three truck bays and an one service bay. There will be a mezzanine above the office area. The finishes in the office area will be sheetrock and paint with an Epoxy non slip painted floor. The finishes in the garage area will be a metal liner panel on the walls with a concrete floor.
3. The next document reviewed was Drawing A-2.0 (copy attached). The elevation drawings of the garage indicating a very standard building with four garage doors with windows as well as windows above the garage doors. The exterior finishes will be corrugated metal siding with a metal roof.
4. Next the engineers began to describe the mechanical system supporting the building including the heating and cooling systems. There will be radiant heat provided in the garage area, and an air handling system in the office area. The garage will also have an air exchange system and CO2 monitoring system to ensure safe air quality in the garage at all times. The system is all electric since our initial design criteria was to be a net zero/solar powered building. The amount of solar panels that will fit on the garage roof will not provide enough solar power to be NetZero in the winter months. However it is anticipated that

**TOWN OF ELMORE, VT**  
**Building Committee Task Force Meeting**

extra power will be sold back to Morrisville Power and Light during the summer months. It was noted by one of our attendees that while the building is situated with a southern exposure, for the most efficient application of solar panels, it should have a southwest exposure. This issue had been previously addressed by the Engineer and their response is that the orientation is good for solar given the site constraints. Further discussion and review will be necessary.

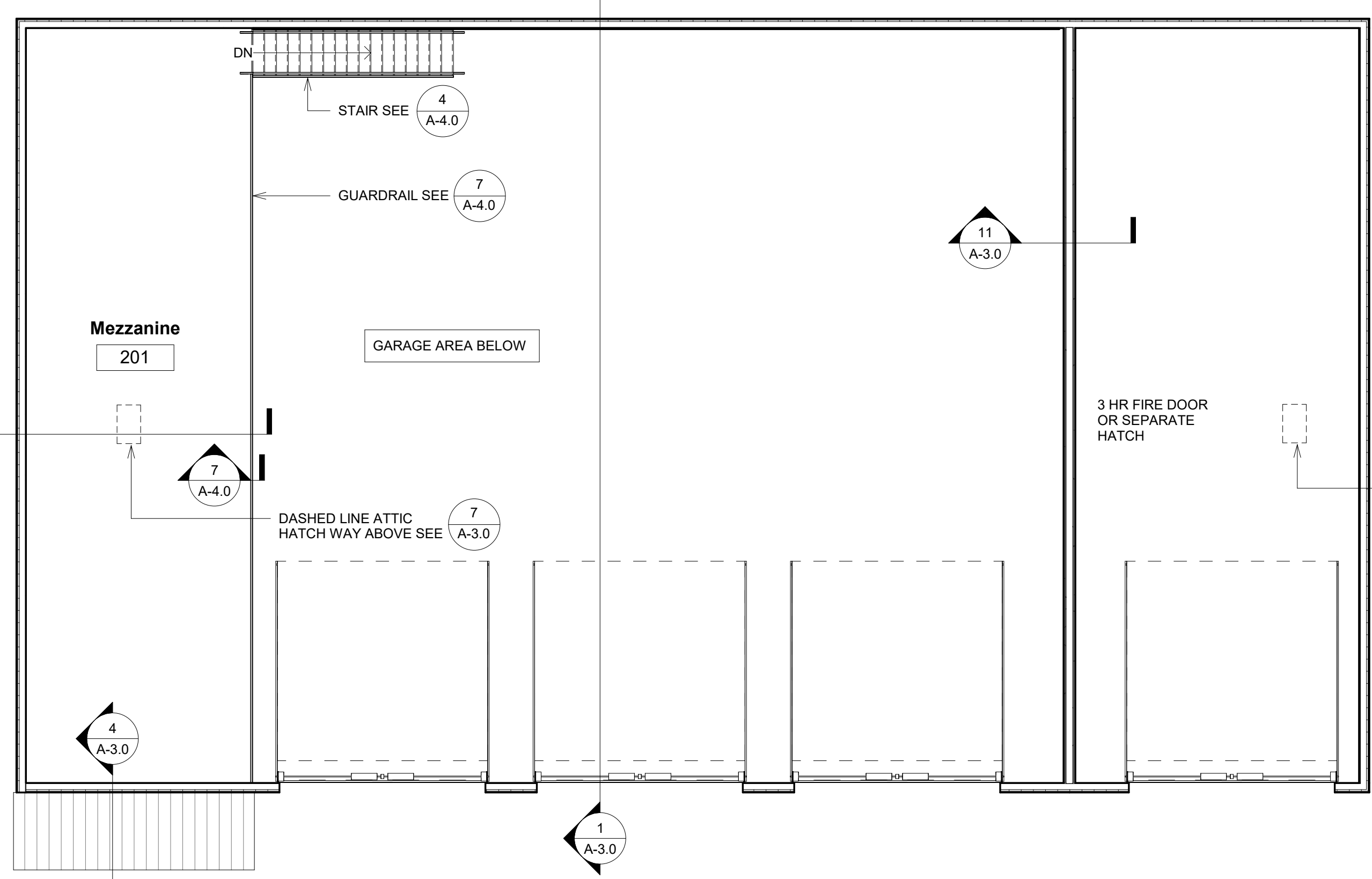
5. The Engineer stated that they hope to finalize the bid documents within the next couple of weeks. We are planning on going out to bid in the mid to late August. While our documents are out to bid, our Engineer will continue to work with the state to acquire all the permitting required for the construction of this project to begin. The reason the Select Board is pushing to get these documents out as soon as possible due to the funding cycle in the Vermont Bond Market. We are hoping to lock in our interest rates as soon as possible due to rising interest rates.





**1 First Floor Plan**  
 Scale: 1/8" = 1'-0"

- CONSTRUCTION NOTES:**
- DIMENSIONS ARE TO THE FACE OF STUDS UNLESS NOTED OTHERWISE
  - ALL INTERIOR WALLS TO HAVE SOUND BATT INSULATION
  - DOORS ARE SET 3 STUDS FROM ADJACENT WALL UNLESS NOTED OTHERWISE
  - ALL WALLS ARE 2 X 6 WD UNLESS NOTED OTHERWISE
  - GYP BD ON WALLS TO BE 5/8" TYPE X ON BOTH SIDES OF WALL FACING HALLWAY & OFFICE SPACE FOR 1 HR RATING U-305 ASSEMBLY
  - FLOOR SLABS HAVE RADIANT HEAT SEE MECHANICAL DRAWINGS.



**2 Mezzanine**  
 Scale: 1/8" = 1'-0"

Room Schedule					
Name	Number	Floor Finish	Base Finish	Wall Finish	Ceiling Finish
Mech	101	EPOXY NON SLIP	RUBBER	PTD GYP BD	PTD GYP BD
Office	102	EPOXY NON SLIP	RUBBER	PTD GYP BD	PTD GYP BD
Break Room	103	EPOXY NON SLIP	RUBBER	PTD GYP BD	PTD GYP BD
Rest Room	104	EPOXY NON SLIP	RUBBER	PTD MR GYP BD / FRP	PTD MR GYP BD
Hall	106	EPOXY NON SLIP	RUBBER	PTD GYP BD	PTD GYP BD
Office	105	EPOXY NON SLIP	RUBBER	PTD GYP BD	PTD GYP BD
Garage	107	CONCRETE	NONE	PLW WD & MTL LINER PANEL	MTL LINER PANEL
Service Bay	108	CONCRETE	NONE	MTL LINER PANEL	MTL LINER PANEL
Mezzanine	201	PLY WD	NONE	PLW WD	MTL LINER PANEL

**FINISH ABBREVIATIONS**

PLY WD: PLYWOOD  
 PTD GYP BD: PAINTED GYPSUM BOARD  
 PTD MR GYP BD: PAINTED MOISTURE RESISTANT GYPSUM BOARD  
 FRP: FIBERGLASS REINFORCED PANEL  
 MTL: METAL

PROJECT: 21086  
 DATE: 07/26/2022  
 DESIGNED BY: VAE  
 DRAWN: VAE  
 CHECKED: P.J.G.  
 APPROVED: P.J.G.

TEL: 802-524-2113  
 FAX: 802-524-4681  
**CROSS**  
 CONSULTING ENGINEERS, P.C.  
 103 Fairfax Rd.  
 St. Albans, VT 05478  
 © 2022 Cross Consulting Engineers, P.C.

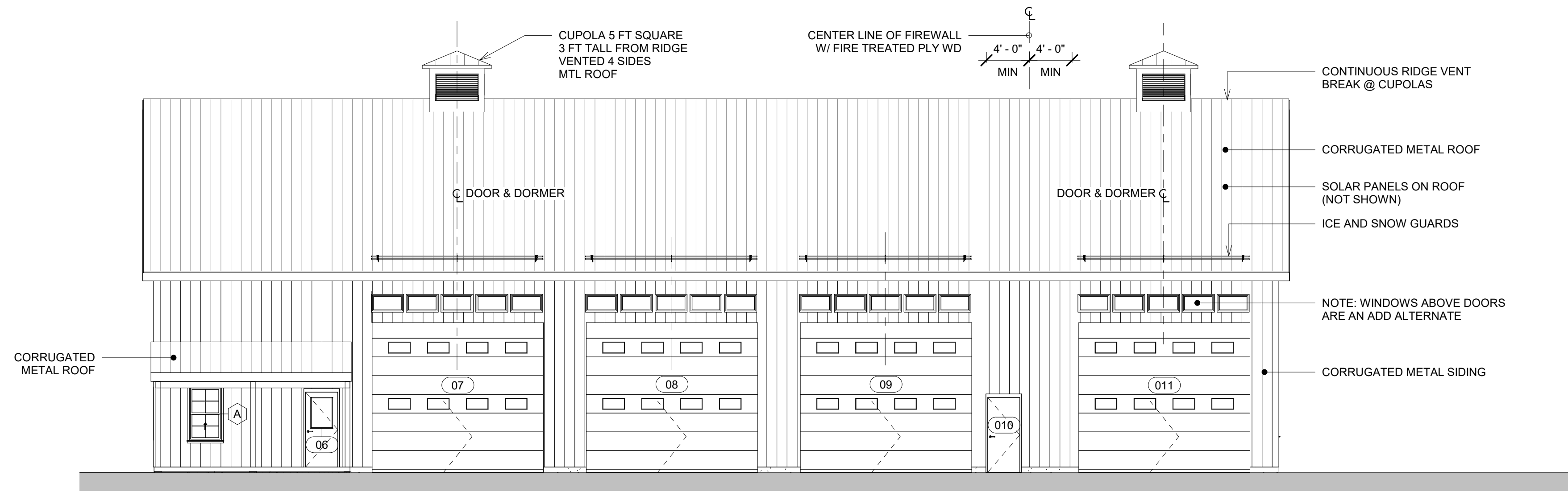
Rev. No.	Date	Description

Town of Elmore  
 Elmore, VT  
**Highway Maintenance Garage**  
 VT Route 12  
 Elmore, VT

ARCHITECTURAL

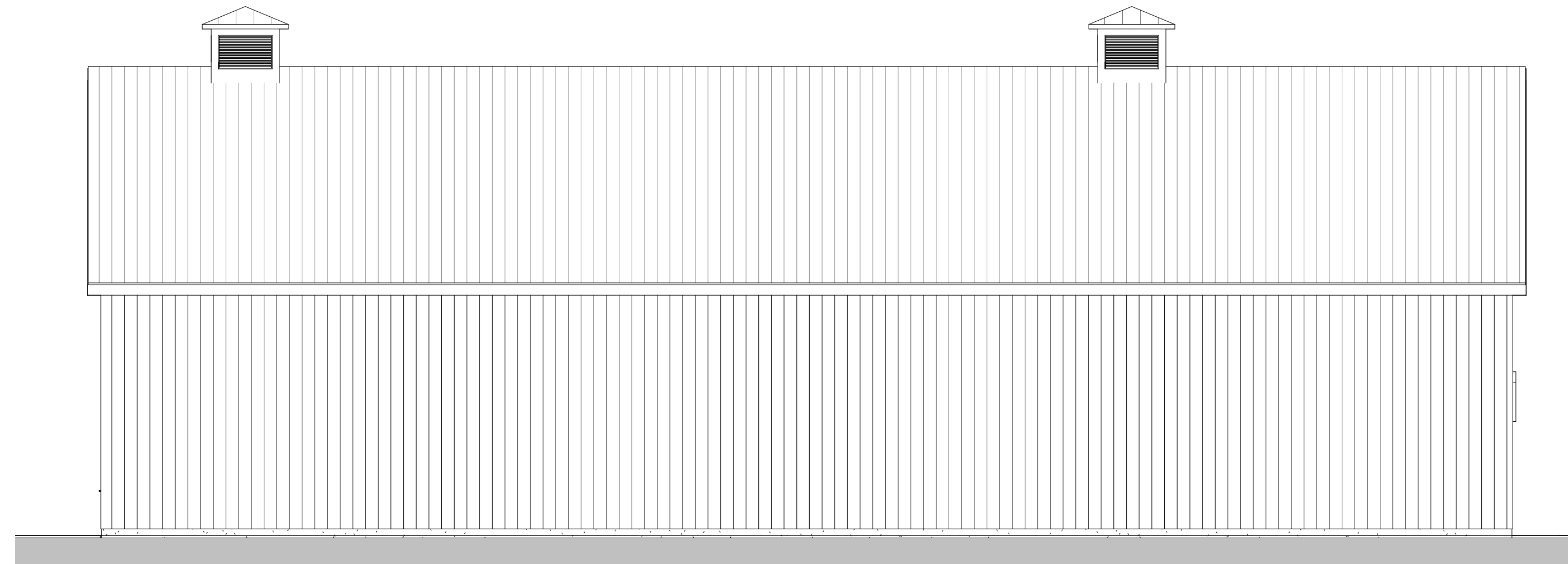
**A-1.0**

© 2022 Drawing 21086 Highway Maintenance Facility/Consult/Rev 21086 Elmore Maintenance Facility 071.rvt 7/26/2022 10:58:52 AM



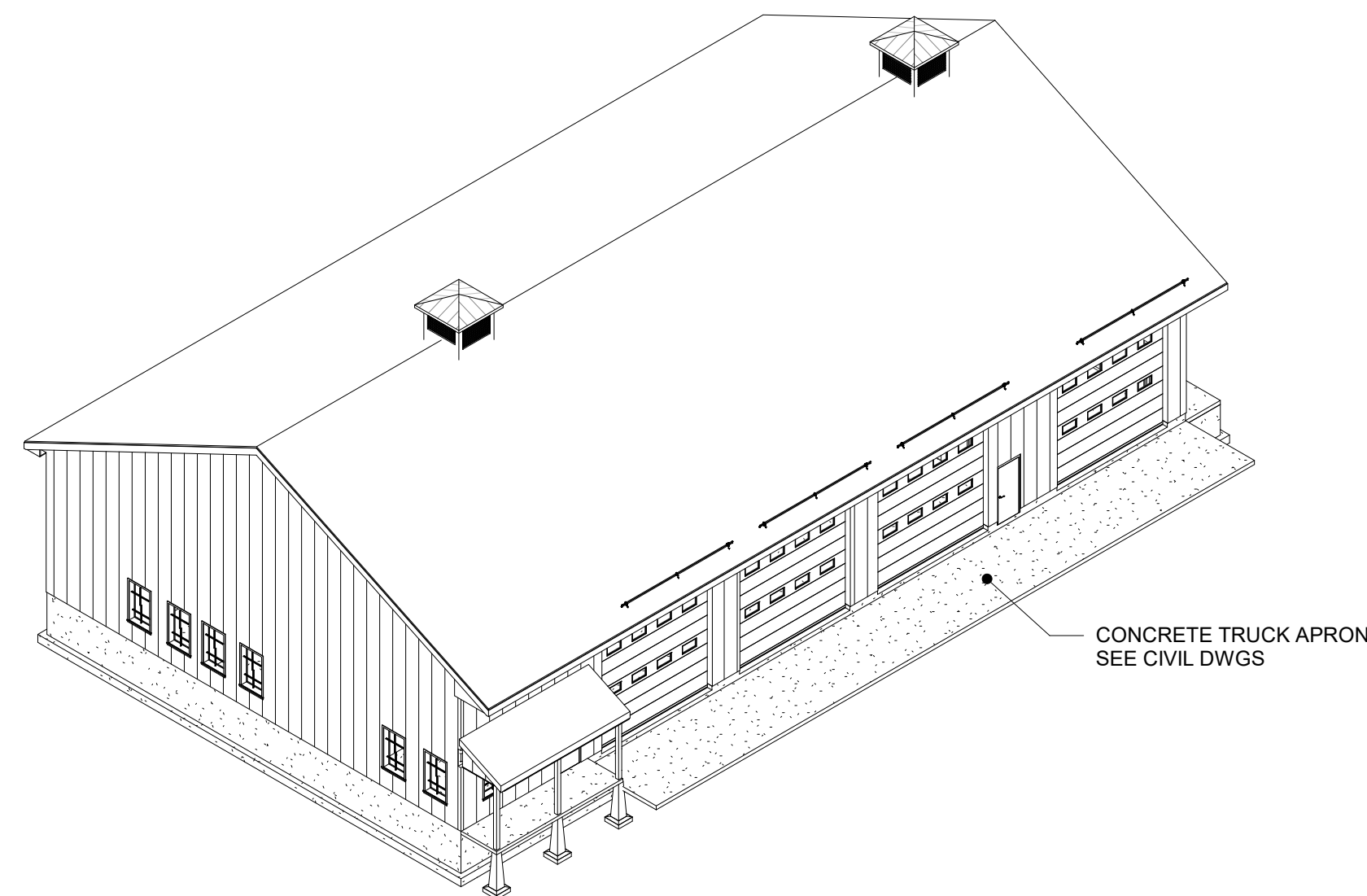
**South Elevation**

Scale: 1/8" = 1'-0"



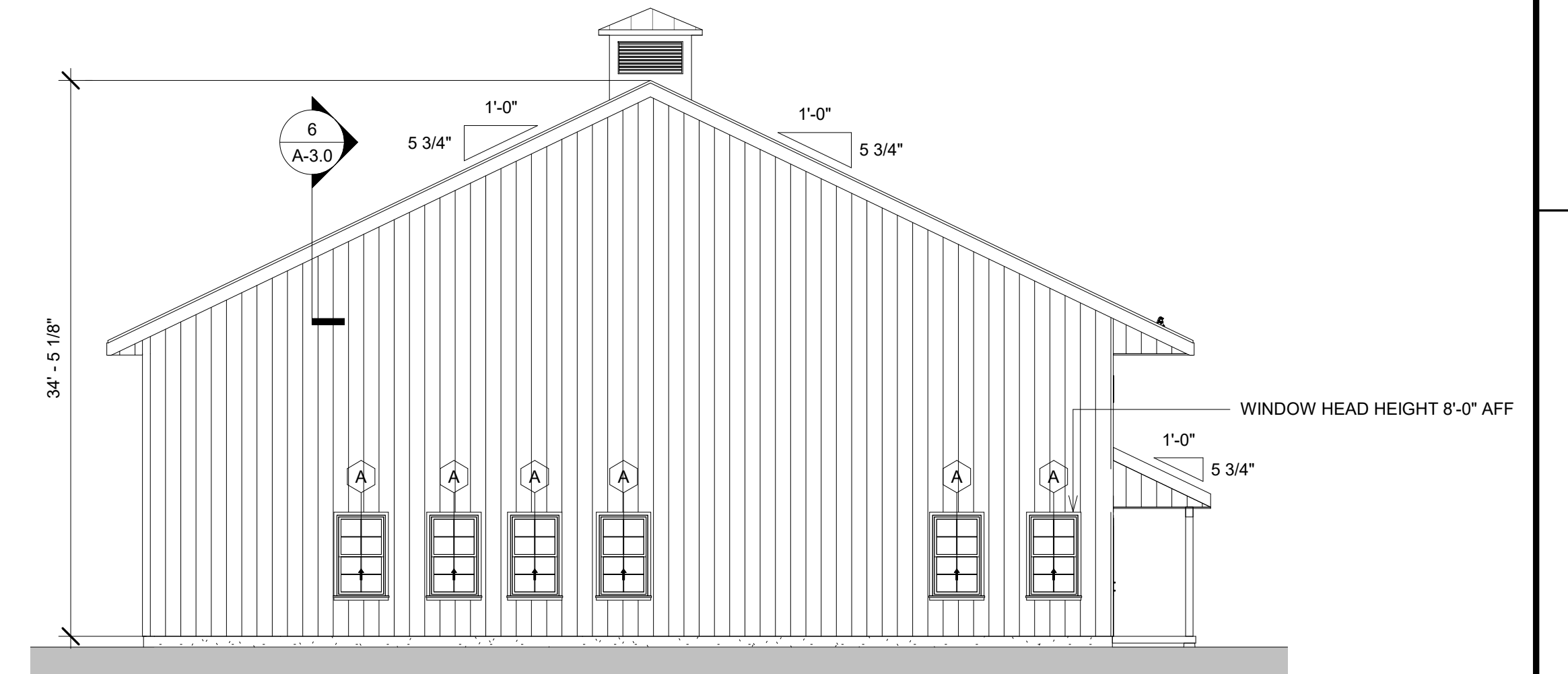
**North Elevation**

Scale: 1/8" = 1'-0"



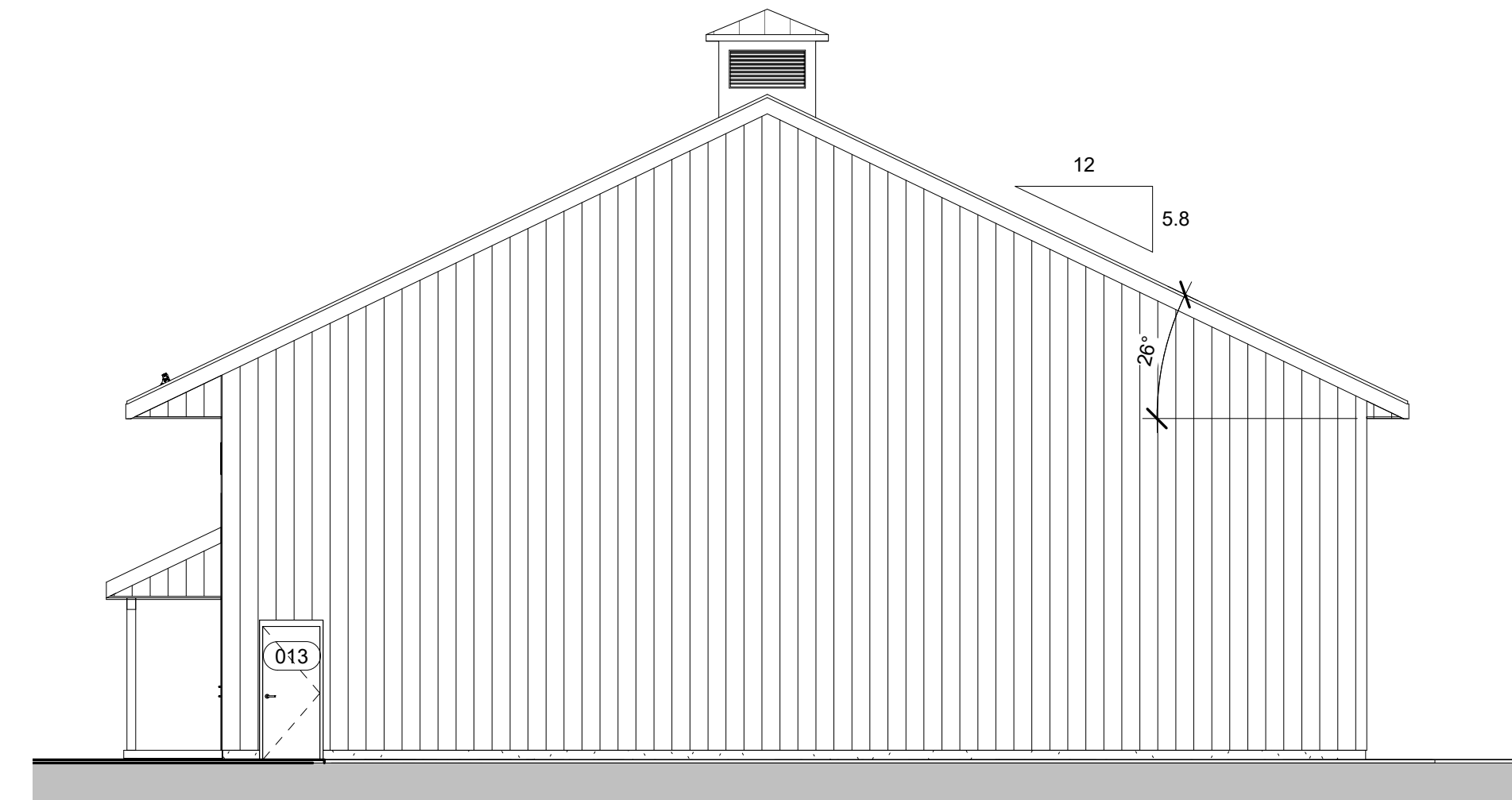
**Isometric View Southwest**

Not To Scale



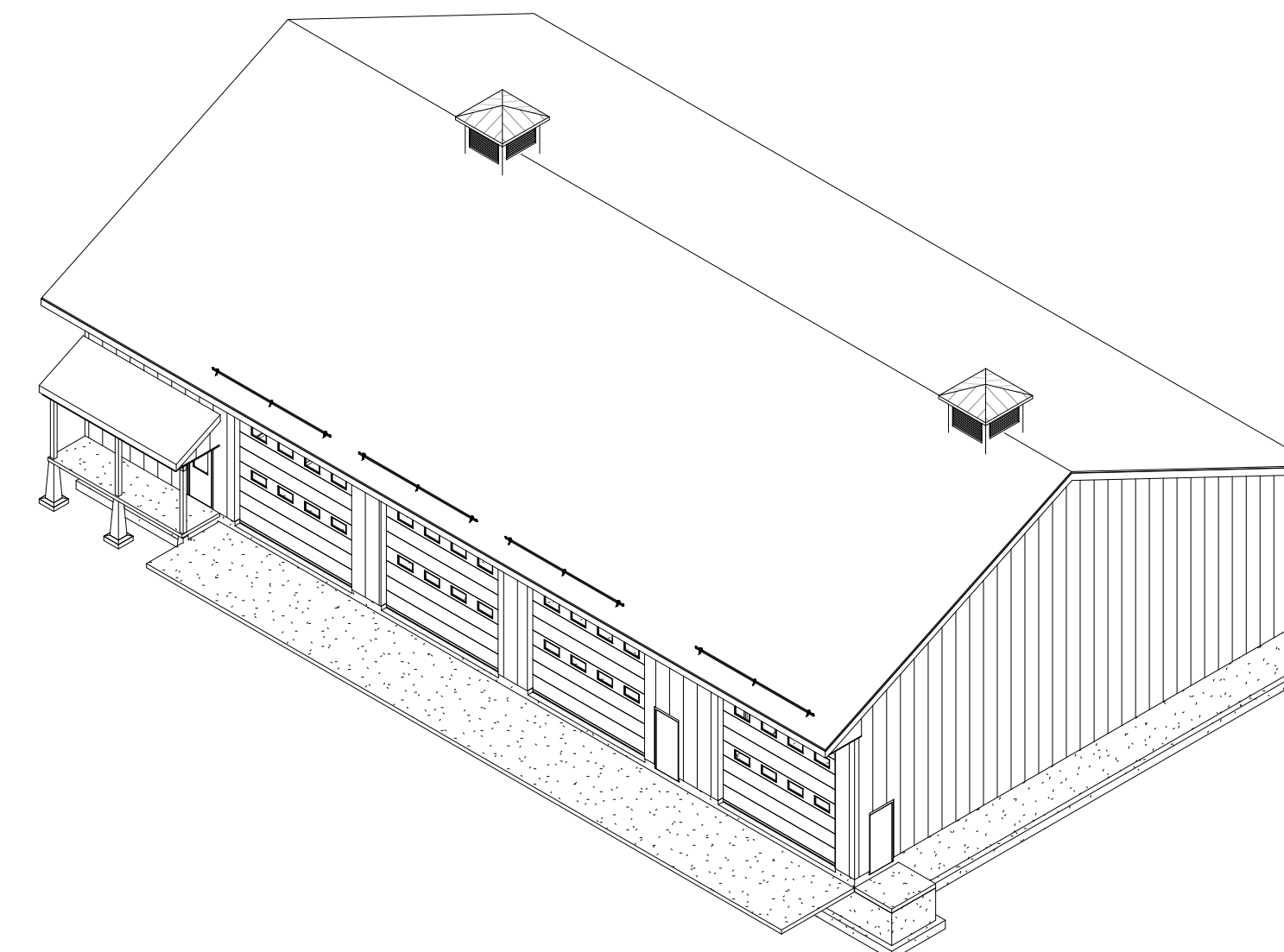
**West Elevation**

Scale: 1/8" = 1'-0"



**East Elevation**

Scale: 1/8" = 1'-0"



**Isometric View Southeast**

Not To Scale

PROJECT: 21086  
 DATE: 07/26/2022  
 DESIGNED BY: VAE  
 DRAWN: VAE  
 CHECKED: P.J.G.  
 APPROVED: P.J.G.

TEL: 802-524-2113  
 FAX: 802-524-4481  
 CROSS CONSULTING ENGINEERS, P.C.  
 103 Fairfax Rd.  
 St. Albans, VT 05575  
 © 2022 CROSS CONSULTING ENGINEERS, P.C.

**Elevations & Isometric Views**

Rev. No.	Date	Description

Town of Elmore  
 Elmore, VT  
 Highway Maintenance Garage  
 VT Route 12  
 Elmore, VT

ARCHITECTURAL

A-2.0

SHEET 2 OF 5

Progress 07/26/2022

Q:\2021 Drawings\21086 Elmore Maintenance Facility\Current\C-02 Layout Plan.dwg Plotted: 7/29/2022 7:39:47 AM



LAYOUT NOTES

1. PROPOSED LOT AREA: 18.0 ACRES
2. PER ZONING REGULATIONS, ARTICLE 2.5 TABLE 2.2, MAXIMUM LOT COVERAGE IS 6% (MAX: 47,044 SF)
- 2.1. PROPOSED IMPERVIOUS COVERAGE: 46,752 SF (6%)
3. ARTICLE 5.4.C REQUIRES PARKING TO BE TO SIDE AND REAR OF BUILDING, UNLESS OTHERWISE APPROVED BY THE DRB.
4. DESIGN VEHICLE IS A SU-40. LARGER VEHICLES MAY NOT BE ABLE TO ACCESS THE SITE.
5. ARTICLE 3.4.C DOES NOT ALLOW DEVELOPMENT ON SLOPES GREATER THAN 20%. DRB MAY ALLOW DEVELOPMENT ON SLOPE GREATER THAN 15%.
6. ACCESSIBLE SPACE AND ACCESS MUST BE PAVED. ADA 302.1 REQUIRES SURFACE TO BE FIRM AND STABLE, TO RESIST DEFORMATION BY EITHER INDENTATIONS OR PARTICLES MOVING ON ITS SURFACE. ADDITIONALLY, ADA 502.2 REQUIRES THAT THE SPACE AND ACCESS BE MARKED.
7. VTRANS WILL REQUIRE THE ENTRANCE TO BE PAVED WITHIN THEIR RIGHT-OF-WAY.



DRAFT - Not for Bidding, Not for Construction  
DRAFT

PROJECT: 21086  
DATE: 2022-07-28  
DESIGN: DW  
DRAWN: DW  
CHECKED: DW  
APPROVED: DW

**CCE CONSULTING ENGINEERS, P.C.**  
 103 Fairfax Rd.  
 St. Albans, Vermont 05478  
 © COPYRIGHT 2022  
 Cross Consulting Engineers, P.C.

Layout Plan

Town Of Elmore  
 Elmore, VT  
 Highway Maintenance Garage  
 VT Route 12  
 Elmore, VT

CIVIL

C-02